

Item No 03:-

19/01317/FUL

**Churnside Estate
Cowley
Cheltenham
Gloucestershire
GL53 9NJ**

Item No 03:-**Erection of ancillary accommodation at Churnside Estate Cowley Cheltenham
Gloucestershire GL53 9NJ**

Full Application 19/01317/FUL	
Applicant:	Mr & Mrs Joy
Agent:	Plainview Planning Ltd
Case Officer:	Andrew Moody
Ward Member(s):	Councillor Julia Judd
Committee Date:	11th September 2019
RECOMMENDATION:	PERMIT

Main Issues:

- (a) Principle of Development
- (b) Landscape Impact within the AONB
- (c) Biodiversity
- (d) CIL

Reason for Referral:

The application has been referred to Committee by the Ward Member, Councillor Julia Judd, for the following reason:-

'I would like this proposal to go to the Planning Committee please. In particular, because the proposal is not within the residential curtilage but also to examine the concerns raised the Parish Council regarding overdevelopment, impact upon landscape, urbanization of the local area, impact upon the AONB and the relevance/necessity for such ancillary development'

1. Site Description:

The Churnside Estate consists of three dwellings within the same family ownership, known as The Walled Garden, The Malt House and Hunters Hill. The site is located to the north-west of the lane leading through Cowley, and has a varied history including use as an Adventure Camp since the 1960's.

The site is within the Cotswolds AONB, and a Public Right of Way runs in a north/south direction to the east of the site.

2. Relevant Planning History:

01/02741/FUL: Change of use of school camp and adventure centre, store and premises to form a residential dwelling. Permitted 01.08.2002

02/00361/FUL: Conversion of the former Forge to a dwelling. Permitted 31.07.2002

02/00399/FUL: The erection of a new dwelling with ancillary studio accommodation (on the site of a former studio building). Permitted 16.08.2002

04/01639/FUL: Conversion to dwelling (revised scheme). Permitted 03.09.2004

05/01054/FUL: The development of a replacement dwelling and garage on the site of the former Churnside Camp. Permitted 24.11.2005

06/01101/FUL: Erection of new dwelling and ancillary studio accommodation (on the site of former studio building) (revised scheme incorporating additional bedroom and shower room extensions). Permitted 29.06.2006

08/00058/FUL: Replacement dwelling and garage (revision to previously approved scheme). Permitted 17.04.2008

08/00337/FUL: Conversion of former forge into dwelling (revised scheme). Permitted 08.05.2008

09/00228/FUL: Variation of Condition 16 of planning permission reference 08/00058/FUL to allow revisions to the approved landscaping scheme. Permitted 07.04.2009

09/02290/AGFO: Barn for storing and securing estate machinery, tools and equipment as well as for parking estate vehicles under cover. Prior approval not required 24.08.2009

10/00038/FUL: Amendments to approved house and associated works. Permitted 30.03.2010

11/04856/FUL: Installation of tennis court. Permitted 05.01.2012

13/03593/AGFO: Erection of extension to Dutch barn to form lean to tractor shed. Prior approval not required 22.08.2013

3. Planning Policies:

NPPF National Planning Policy Framework
 EN1 Built, Natural & Historic Environment
 EN2 Design of Built & Natural Environment
 EN4 The Wider Natural & Historic Landscape
 EN5 Cotswold AONB
 EN15 Pollution & Contaminated Land
 INF5 Parking Provision

4. Observations of Consultees:

Landscape Officer: No objection subject to conditions

Biodiversity Officer: No objection subject to conditions

5. View of Town/Parish Council:

Cowley Parish Council:

The Parish Council Objects to this application: -

(i) Concerns are raised that the proposed development is not ancillary (by definition) and as such should be treated as a standalone new build property.

(ii) Concerns are raised that the proposed development is outside of the residential curtilage.

(iii) Concerns are raised over the disproportionate carbon footprint associated with the large scale excavations and use of mass concrete and the associated unsustainable pattern of development.

(iv) Concerns are raised in relation to the over development of the Churnside Housing Estate, and the adverse cumulative impact on Cowley taking into consideration other similar developments that could be permitted during the Local Plan period.

(v) Concerns are raised that a subsequent planning application will be submitted for the change of use to an independent dwelling, which goes against NPPF policy of sustainable patterns of development.

6. Other Representations:

3 objections have been received raising the following points:-

- (i) over-development
- (ii) impact upon landscape
- (iii) additional traffic generated by 7 classic cars
- (iv) will urbanise the area
- (v) harmful impact upon AONB
- (vi) development is not necessary

7. Applicant's Supporting Information:

Planning Statement
 Design and Access Statement
 Phase 1 Habitat Survey and Ecological Briefing Note
 Proposed plans

8. Officer's Assessment:

The application proposes an outbuilding to be used for ancillary purposes in connection with the residential properties at the Churnside Estate, Cowley. The building would be sited towards the north-western corner of the land within the applicant's control, and would use the natural slope of the land to be partially underground with the land remodelled such that there would be a green roof and the only elevation of the building visible would be that facing towards the west.

The building would include accommodation on two floors, the lower of which would be below the current ground level and would use a scissor lift to allow the storage of 5 cars with an electric vehicle turntable, as well as other storage / workshop areas. The upper floor would include a gym, changing and treatment rooms and shower; a library, meeting and office areas, and a guest suite, including one bedroom, wardrobe, and en suite.

(a) Principle of Development

The application site is located within the parkland setting of the three dwellings within the applicant's family ownership. However, having regard to the planning permission granted for The Walled Garden, The Malt House and Hunters Hill, the application site is outside the approved residential curtilages.

Notwithstanding this, information has been provided in respect of the historic uses of the land. These include use as a saw mill from the 19th Century where the dwellings are now sited, as an Adventure Camp since 1962 up until 2001 when the site was sold and residential use commenced following the granting of planning permission in 2002. Historic mapping and aerial photographs demonstrate that the existing boundary line to the north of the proposed building has remained constant, and is denoted by a metal post and rail fence that remains in situ. The applicant's land ownership extends to the north of this boundary, where the character of the land takes on a more rural appearance in that the grass is longer. Some of the photographs submitted with the application show the land in question in use as a Camp, with children playing football upon short cut grass where the proposed building is now to be erected, with these photographs being dated 1974.

An aerial photograph from 1999 shows the land in question to appear to be mown and maintained to the south of the boundary fence.

The Planning Statement submitted with the application includes reference to case law, *Collins v Secretary of State for the Environment* (1989), regarding the planning unit and residential curtilage having to be considered as separate matters. In addition, *Burdle and Williams v SSE and New Forest DC* (1972) is also quoted. In this case, Bridge J. suggested three broad tests for determining the appropriate planning unit:

- 1) Whenever it is possible to recognise a single main purpose of the occupier's use of his land to which secondary activities are incidental or ancillary, the whole unit of occupation should be considered ...".
- 2) It may equally be apt to consider the entire unit of occupation even though the occupier carries on a variety of activities and it is not possible to say that one is incidental or ancillary to another. This is well settled in the case of a composite use where the component activities fluctuate in their intensity from time to time but the different activities are not confined within separate and physically distinct areas of land.
- 3) It may frequently occur that within a single unit of occupation two or more physically separate and distinct areas are occupied for substantially different and unrelated purposes. In such a case each area used for a different main purpose (together with its incidental and ancillary activities) ought to be considered as a separate planning unit.

The case law advanced has been discussed with the Council's Principal Solicitor, and the advice provided concludes that the proposed building would be sited within the planning unit, and whilst not within the residential curtilage of any of these properties, the erection of an ancillary building would be acceptable in principle given the use of the land.

Notwithstanding the above, the Parish Council have expressed concerns that the proposal should be treated as a standalone new building. therefore, whilst Officers consider that the building would be considered as ancillary accommodation, the following comments are made with regard to Policy DS3 of the Local Plan.

Section 38(6) of the Planning and Compulsory Purchase Act 2004 states that 'If regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise.' The starting point for the determination of an application would therefore be the current development plan for the District which is the Cotswold District Local Plan 2011-2031.

Local Plan Policy DS3 (Small-Scale Residential Development in Non-Principal Settlements), allows for small-scale residential development in non-Principal Settlements where this:

- a. demonstrably supports or enhances the vitality of the local community and the continued availability of services and facilities locally;
- b. is of a proportionate scale and maintains and enhances sustainable patterns of development;
- c. complements the form and character of the settlement; and
- d. does not have an adverse cumulative impact on the settlement having regard to other developments permitted during the Local Plan period.

Policy DS3 recognises that although many of the rural villages and hamlets within the District are not sustainable locations for residential development, some settlements have greater sustainability credentials. As such Non-Principal Settlements are those which have reasonable access to everyday services, facilities and/or employment opportunities, either within the settlement itself, at a Principal Settlement, or at a neighbouring rural settlement.

The NPPF has at its heart a 'presumption in favour of sustainable development'. It states that there are three overarching objectives to achieving sustainable development: economic, social

and environmental, which are interdependent and need to be pursued in mutually supportive ways.

In addition to the above, it must also be noted that, even if the Council can demonstrate the requisite minimum supply of housing land, it does not in itself mean that proposals for residential development outside existing Settlement Boundaries should automatically be refused. The 5 year (plus 5%) figure is a minimum not a maximum and as such the Council should continually be seeking to ensure that housing land supply stays above this minimum in the future. As a result there will continue to be a need to release suitable sites outside Settlement Boundaries identified in the Local Plan for residential development.

The supporting text to Policy DS3 guides the decision maker to make a judgement on the accessibility to everyday services, facilities and/or employment opportunities, where "reasonable access" helps to avoid unnecessary traffic movements and social isolation. Distance, quality of route, topography and pedestrian safety are important issues when considering the accessibility of services and facilities (Para 6.3.4). The Local Plan's development strategy seeks to promote sustainable patterns of development in the District and residential development in rural areas is directed to those locations where it will enhance or maintain the vitality of rural communities. In the absence of special circumstances, the plan seeks to avoid permitting new isolated homes in the countryside. Policies DS3 and DS4 are central in this respect.

In terms of the sustainability of the location, the village of Cowley is considered to represent a Non-Principal Settlement for the purposes of the Local Plan. Therefore, housing development in significant numbers and/or high density is unlikely to be supported in this location. However, having regard to Policy DS3 and the NPPF, it is proper that consideration is given to small-scale residential development on the merits of each individual case.

NPPF paragraph 78 states that 'To promote sustainable development in rural areas, housing should be located where it will enhance or maintain the vitality of rural communities. Planning policies should identify opportunities for villages to grow and thrive, especially where this will support local services. Where there are groups of smaller settlements, development in one village may support services in a village nearby.'

The proposed building is located in reasonable proximity to existing residential development and there are facilities in the village including a church, public house and hotel, with bus stops within walking distance on the A435 with regular services between Cheltenham and Swindon, via Cirencester. In the context of the village, should the independent use of this building be proposed it would be considered to maintain sustainable patterns of development. The proposal will not have an adverse cumulative impact on the settlement, and is therefore considered to accord with Local Plan Policy DS3 in respect of criteria 1 a, b and d. Criterion 1 c will be assessed later in this report.

(b) Landscape Impact within the AONB

The site is located within the Cotswolds Area of Outstanding Natural Beauty (AONB). Section 85 of the Countryside and Rights of Way (CROW) Act 2000 states that relevant authorities have a statutory duty to conserve and enhance the natural beauty of the AONB.

Policy EN2 of the Local Plan states that development will be permitted which accords with the Design Code (Appendix D). Proposals should be of design quality that respects the character and distinctive appearance of the locality.

Policy EN4 of the Local Plan states that development will be permitted where it does not have a significant detrimental impact on the natural and historic landscape (including the tranquillity of the countryside) of Cotswold District or neighbouring areas. This policy requires that proposals will take account of landscape and historic landscape character, visual quality and local distinctiveness. They will be expected to enhance, restore and better manage the natural and

historic landscape, and any significant landscape features and elements, including key views, settlement patterns and heritage assets.

Policy EN5 of the Local Plan states that in determining development proposals within the AONB or its setting, the conservation and enhancement of the natural beauty of the landscape, its character and special qualities will be given great weight.

The application site and its surroundings fall within Landscape Character Type 8C High Wold Valley: Upper Churn Valley as defined in the Cotswolds Conservation Board's Landscape Strategy and Guidelines. Development, expansion and infilling of valley settlements is listed as a local force for change in this area. Some of the potential landscape implications of such development are stated as being;

- Erosion of the rural character of the valleys and the landscape setting of historic villages;
- Intrusion of expanded settlements onto the highly visible valley sides;
- Increase in light pollution;
- Loss of village patterns and development of 'rural sprawl' due to settlement growth and coalescence;
- Degradation of views across and along the valley;
- Upgrading of minor roads and lanes associated with new development and the introduction of suburbanising features such as mini roundabouts, street lighting, highway fencing and kerbs and traffic calming at village entrances;
- Erosion of distinctive settlement patterns and loss of small fields and network of narrow lanes associated with houses fringing the valley villages;
- Loss/dilution of organic growth patterns of settlements including the relationship between the historic core and adjacent historic fields, paddocks and closes;
- Loss of archaeological and historical features, field patterns and landscapes;
- Interruption, weakening or loss of the historic character of settlements and the historic context in how have expanded, especially the importance of the relationship between the historic core of the settlement and surviving historic features such as churchyards, manor houses, burgage plots, historic farms, pre-enclosure paddocks and closes.

Great weight should be given to conserving landscape and scenic beauty in Areas of Outstanding Natural Beauty. Cowley is a small and isolated settlement, with a scattered development pattern, and the patchwork of green spaces contributes to the rural character of the settlement. The gently sloping and open parkland qualities of the application site are considered typical of the 8C High Wold Valley landscape character type and the site reads as part of the wider rural landscape.

Paragraph 170 of the National Planning Policy Framework requires the planning system to recognise the intrinsic character and beauty of the countryside. Paragraph 172 of the National Planning Policy Framework states that great weight should be given to conserving landscape and enhancing landscape and scenic beauty in Areas of Outstanding Natural Beauty.

The submitted Landscape Opportunities and Constraints report, dated 24th October 2018, identifies that wider range views are limited by virtue of intervening vegetation patterns. The photomontages indicate that there would be open views of the site from Cowley Footpath 29 and partial views from Coberley Footpath 32. It is noted that there would also be views from the lane to the immediate west, albeit the roadside vegetation would provide some partial screening, particularly in summer months. The introduction of lighting may also be perceived from the wider context.

Intervisibility between the site and Cowley Manor Grade II* Registered Park and Garden is limited by intervening vegetation and the nature of the topography. While there would not be a direct impact, it is considered that the site does have a parkland character which should be preserved.

In view of the advice from the Council's Solicitor regarding case law referred to above, it is considered that whilst the land in question is not within the residential curtilage of any of the

dwellings at the Churnside Estate, it does form part of the planning unit. Furthermore evidence has been provided to confirm that there has been a long standing use of the land for purposes other than agriculture. With this in mind the principle of ancillary accommodation is considered to be acceptable.

The scheme has been amended to address concerns raised regarding the design, for example the random placement of light funnels on the roof which took the form of steel external casing, has been altered such that these have been reduced and now lie flush with the roofline.

Subject to these amendments, Officers have no objection in respect of landscape impact, although to further help to soften the appearance of the building in views, it is recommended that a landscaping scheme be required by condition to provide further groups of native tree planting. This would also be in-keeping with the parkland type character of the surrounding land, which itself has a distinctively different character and appearance from the paddock land to the north of the boundary defined by the metal fencing. Therefore, the proposal is also considered to accord with Policy DS3 1 c. in terms of the development complementing the form and character of the settlement.

(c) Biodiversity

A Phase 1 Habitat Survey and Ecological Briefing Note has been submitted with the application, which has identified limited impact upon protected species due to the land in question being mown as amenity grassland. The Biodiversity Officer is satisfied with the content of the report, and raises no objection. However, conditions are recommended to provide enhancements, for example bat and bird boxes in addition to the use of grass upon the roof of the building.

These measures are considered to be acceptable, and as such the proposal is considered to accord with paragraph 175 of the NPPF, Policy EN8 of the Local Plan and Section 40 of the Natural Environment and Rural Communities Act 2006.

(d) CIL

This application is CIL liable and there will be a CIL charge payable. Section 143 of the Localism Act 2011 states that any financial sum that an authority has received, will, or could receive, in payment of CIL is a material 'local finance consideration' in planning decisions.

9. Conclusion:

The proposal is considered to accord with the policies in the Development Plan and the NPPF, which are not outweighed by other material planning considerations.

The recommendation is for planning permission to be granted.

10. Proposed conditions:

1. The development shall be started by 3 years from the date of this decision notice.

Reason: To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2. The development hereby approved shall be implemented in accordance with the following drawing numbers: A-P-100-03c; 05c; 06c; 07b; A-P-200-01c; 02c; 03c; 04d; 05c; 06c; A-P-300-01d and 02c.

Reason: For purposes of clarity and for the avoidance of doubt, in accordance with the National Planning Policy Framework.

3. Prior to the construction of any external wall of the development hereby approved, samples of the proposed walling and roofing materials shall be approved in writing by the Local Planning Authority and only the approved materials shall be used.

Reason: To ensure that, in accordance with Cotswold District Local Plan Policy EN2, the development will be constructed of materials of a type, colour, texture and quality that will be appropriate to the site and its surroundings.

4. Prior to the construction of any external wall of the development hereby approved, a sample panel of walling of at least one metre square in size showing the proposed stone colour, coursing, bonding, treatment of corners, method of pointing and mix and colour of mortar shall be erected on the site and subsequently approved in writing by the Local Planning Authority and the walls shall be constructed only in the same way as the approved panel. The panel shall be retained on site until the completion of the development.

Reason: To ensure that in accordance with Cotswold District Local Plan Policy EN2, the development will be constructed of materials of a type, colour, texture and quality and in a manner appropriate to the site and its surroundings. Retention of the sample panel on site during the work will help to ensure consistency.

5. The green roof shall not be installed/constructed in the development hereby approved, until the design and details have been submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policy EN2.

6. Before the occupation of the development hereby approved, a comprehensive landscape scheme shall be submitted to and approved in writing by the Local Planning Authority, including the creation of a biodiverse/wildflower meadow green roof, and a 5-year aftercare maintenance plan. The scheme must show details of all planting areas, tree and plant species, numbers and planting sizes. The proposed means of enclosure and screening should also be included, together with details of any mounding, walls and fences and hard surface materials to be used throughout the proposed development.

The entire landscaping scheme shall be completed by the end of the planting season immediately following the completion of the development or the site being brought into use, whichever is the sooner.

Reason: To enhance the site for biodiversity in accordance with Policy EN8 of the Cotswold District Local Plan 2011-2031 paragraphs 170 and 175 of the National Planning Policy Framework and in order for the Council to comply with Section 40 of the Natural Environment and Rural Communities Act 2006.

7. The entire landscaping scheme shall be completed by the end of the planting season immediately following the completion of the development or the site being brought into use, whichever is the sooner.

Reason: To ensure that the landscaping is carried out and to enable the planting to begin to become established at the earliest stage practical and thereby achieving the objective of Cotswold District Local Plan Policy EN4.

8. Any trees or plants shown on the approved landscaping scheme to be planted or retained which die, are removed, are damaged or become diseased, or grassed areas which become eroded or damaged, within 5 years of the completion of the approved landscaping scheme, shall be replaced by the end of the next planting season. Replacement trees and plants shall be of the same size and species as those lost, unless the Local Planning Authority approves alternatives in writing.

Reason: To ensure that the planting becomes established and thereby achieves the objective of Cotswold District Local Plan Policy EN2.

9. Prior to its installation, a scheme shall be submitted to and agreed in writing by the Local Planning Authority which specifies the provisions to be made for the level of illumination of the site and the control of light pollution. The scheme should be implemented and maintained in accordance with the approved details unless otherwise agreed in writing by the Local Planning Authority.

Reason: To prevent light pollution in accordance in accordance with Cotswold District Local Plan Policy EN15.

10. The development shall be completed in accordance with the recommendations in Section 4 of the 11941_R02_Phase 1 Habitat Survey and Ecological Briefing Note dated 22 February 2019 prepared by Tyler Grange. All the recommendations shall be implemented in full according to the specified timescales, unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure that biodiversity is protected in accordance with The Conservation of Habitats and Species Regulations 2017, the Wildlife and Countryside Act 1981 as amended, Policy EN8 of the Cotswold District Local Plan 2011-2031, Circular 06/2005, paragraphs 170 and 175 of the National Planning Policy Framework and in order for the Council to comply with Part 3 of the Natural Environment and Rural Communities Act 2006.

11. Before the erection of any external walls, details of the provision of integrated/built-in bat roosting features and bird nesting opportunities into the stone walls of the new building shall be submitted to the Local Planning Authority for approval. The details shall include a technical drawing showing the types of features, their locations within the site and their positions on the elevations of the buildings, and a timetable for their provision. The development shall be completed fully in accordance with the approved details and the approved features shall be retained in accordance with the approved details thereafter.

Reason: To provide additional roosting for bats and nesting birds as a biodiversity enhancement, in accordance with the EC Wild Birds Directive, Policy EN8 of the Cotswold District Local Plan 2011-2031, paragraphs 170 and 175 of the National Planning Policy Framework and Part 3 of the Natural Environment and Rural Communities Act 2006.

12. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended), or any other statutory instrument amending or replacing it, no extensions or openings shall be erected, constructed or inserted in the building the subject of this permission, other than those permitted by this Decision Notice.

Reason: The site or building has a distinct and attractive character and appearance which should be maintained. In order to protect these qualities, it is essential for the Local Planning Authority to maintain control over the types of development listed above, in accordance with Cotswold District Local Plan Policy EN2, and the NPPF.

13. The development hereby permitted shall not be used other than for the purposes ancillary to the residential use of the dwellings currently known as The Walled Garden, The Malt House and Hunters Hill.

Reason: An additional separate unit of accommodation would not be permitted in this location because the site is in an unsustainable location without access to services and facilities without reliance upon the private car, in accordance with Cotswold District Local Plan Policy DS4.

Informatives:

Please note that the proposed development set out in this application is liable for a charge under the Community Infrastructure Levy (CIL) Regulations 2010 (as amended). A CIL Liability Notice will be sent to the applicant, and any other person who has an interest in the land, under separate cover. The Liability Notice will contain details of the chargeable amount and how to claim exemption or relief, if appropriate. There are further details on this process on the Council's website at www.cotswold.gov.uk/CIL



CHURNSIDE ESTATE COWLEY

Scale: 1:2500

Organisation: Cotswold District Council

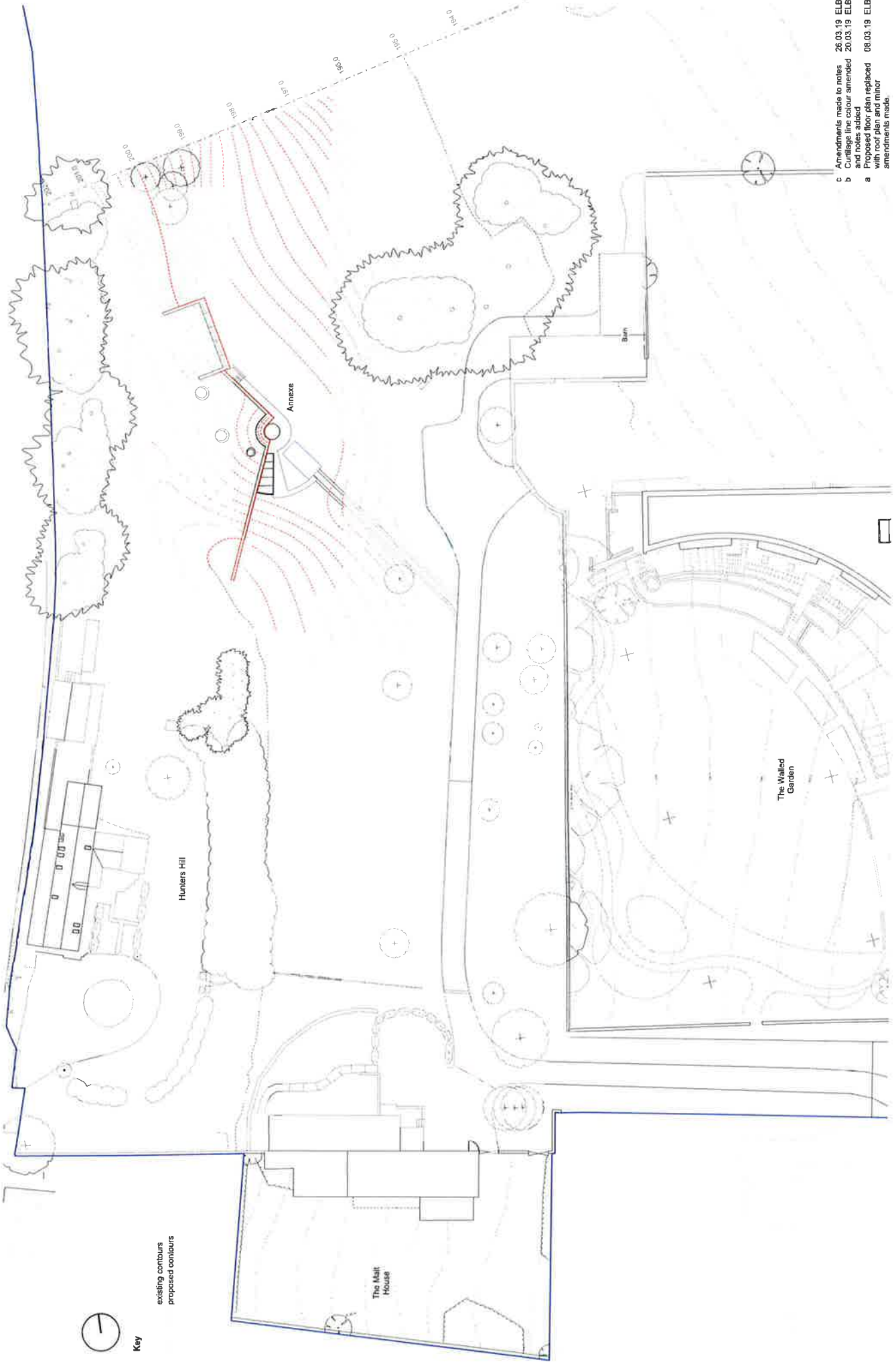
Department:

Date: 30/08/2019

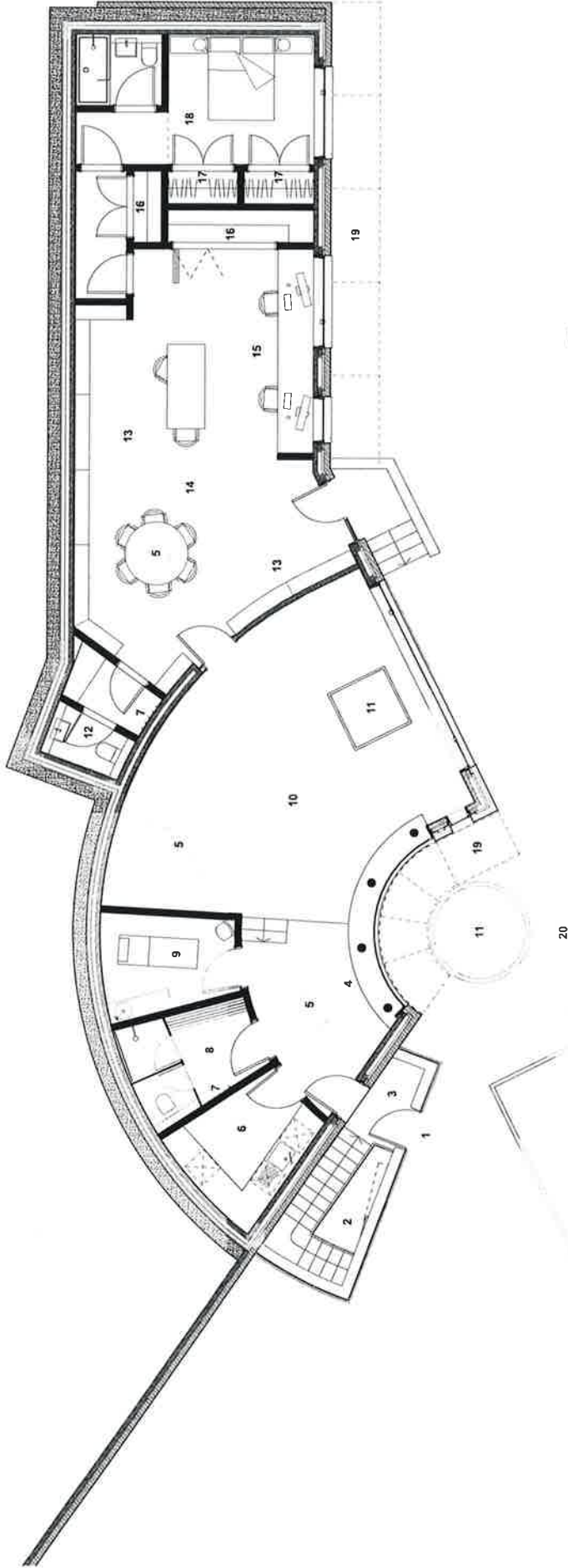


COTSWOLD
DISTRICT COUNCIL



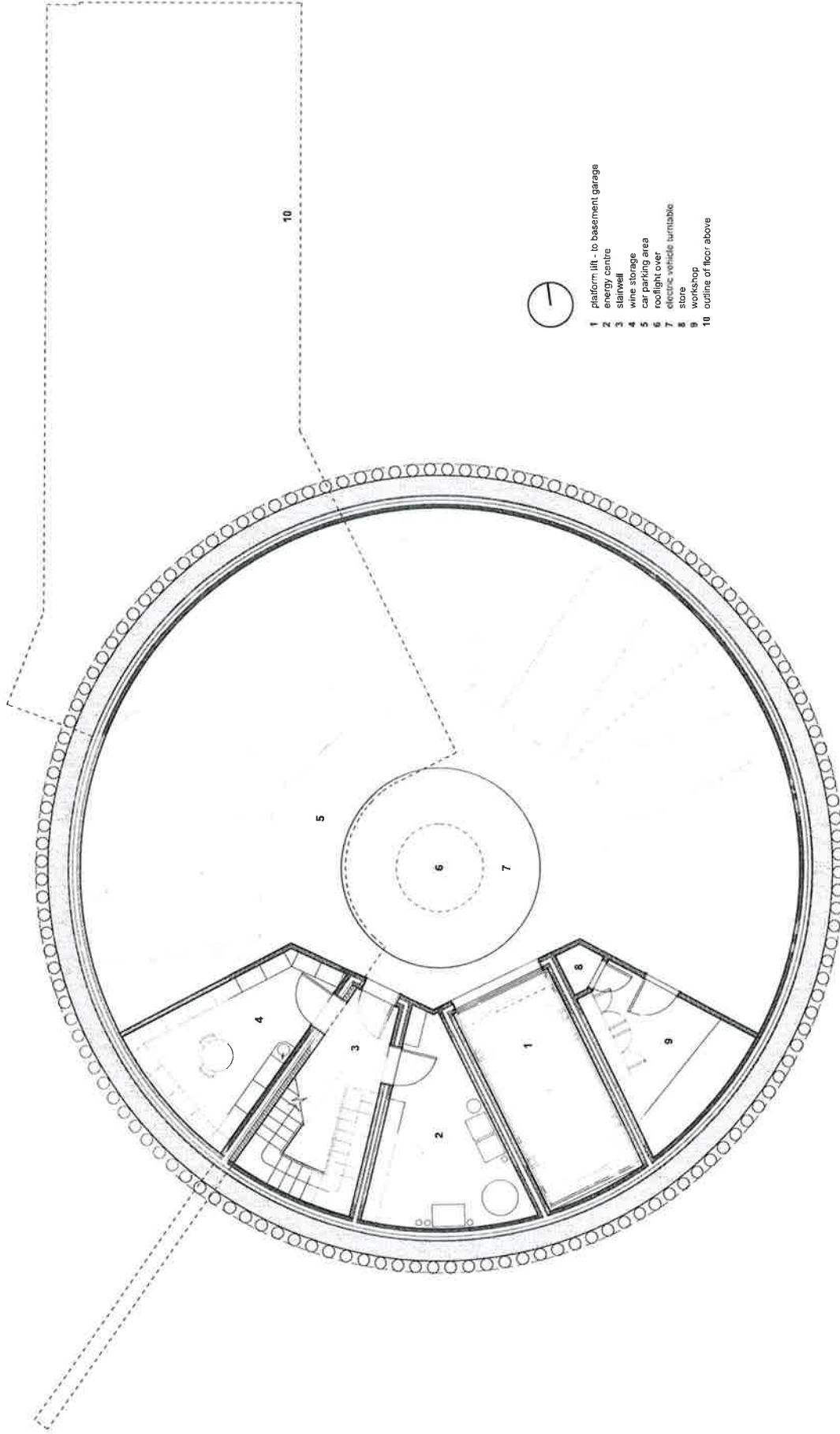


- c Amendments made to notes 26.03.19 ELB
- b Curtilage line colour amended 20.03.19 ELB and notes added
- a Proposed floor plan replaced with roof plan and minor amendments made 08.03.19 ELB



- 1 entrance
- 2 stair down to garage
- 3 entrance lobby
- 4 relaxation area
- 5 rooflight over
- 6 kitchenette
- 7 cloaks
- 8 changing room + showers + wc
- 9 treatment room
- 10 gym
- 11 walk on rooflight to cars below
- 12 wc
- 13 library
- 14 meeting area
- 15 office area
- 16 office storage
- 17 wardrobe
- 18 guest suite
- 19 cornen steel eaves overhang
- 20 terrace paving
- 21 platform lift to basement garage with grass roof
- 22 gravel tracks to lift platform

b Amendments made to notes 26.03.19 ELB
a Minor amendments made to layout + notes added 08.03.19 ELB



- 1 platform lift - to basement garage
- 2 energy centre
- 3 stairwell
- 4 wire storage
- 5 car parking area
- 6 rooflight over electric vehicle turntable
- 7 store
- 8 workshop
- 9 outline of floor above
- 10

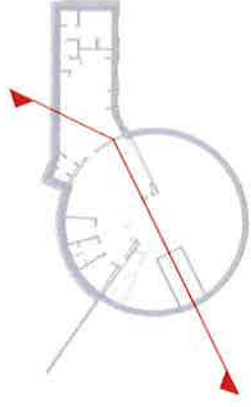
c Amendments made to notes 26.03.19 E.LB
 b Minor amendments made 13.03.19 E.LB
 a Minor amendments made to layout + notes added 06.03.19 E.LB

LUXTON ARCHITECTS
 Bristol - Tel: 01452 812004
 Gloucestershire - G11 6AC
 Oxford - Tel: 01452 812004
 Mob: 0771323467

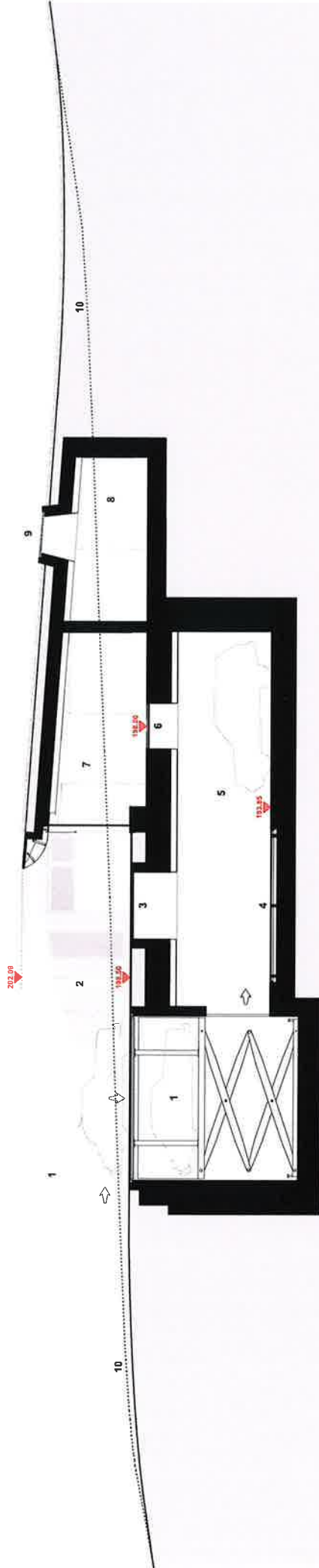
Proposed Basement Floor Plan
 Scale 1:100 @ A3

Job No: 1165
 Dwg No: A - P - 100 - 06c

JOY FAMILY ANNEXE, WALLED GARDEN
 COWLEY, GLOUCESTERSHIRE
 FEBRUARY 2019



- 1 platform lift to basement garage with grass roof
- 2 entrance door to perforated casten steel lobby
- 3 external walk on rooflight to cars below
- 4 electric vehicle charging
- 5 basement garage car parking area
- 6 internal walk on rooflight to cars below
- 7 gym
- 8 library + meeting + office area
- 9 circular rooflight
- 10 existing ground level



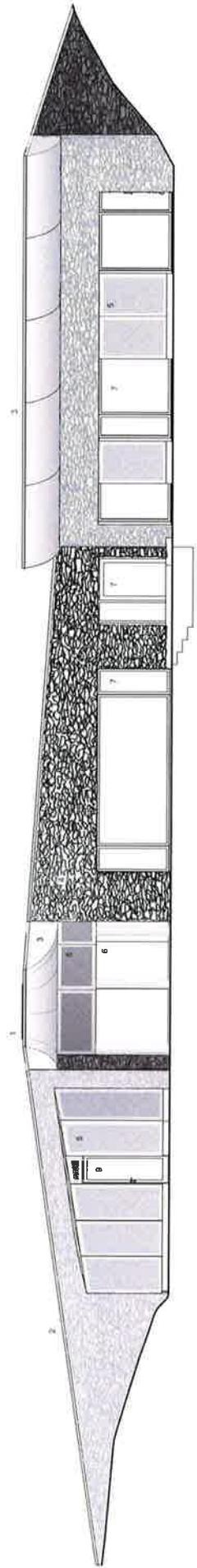
- d Rooflights amended 28.06.19 ELB
- c Amendments made 26.03.19 ELB
- b Existing ground level indicated 13.03.19 ELB and general amendments made
- a Amendments made to curved glazing and screen detail shown. Glazed porch amended 08.03.19 ELB



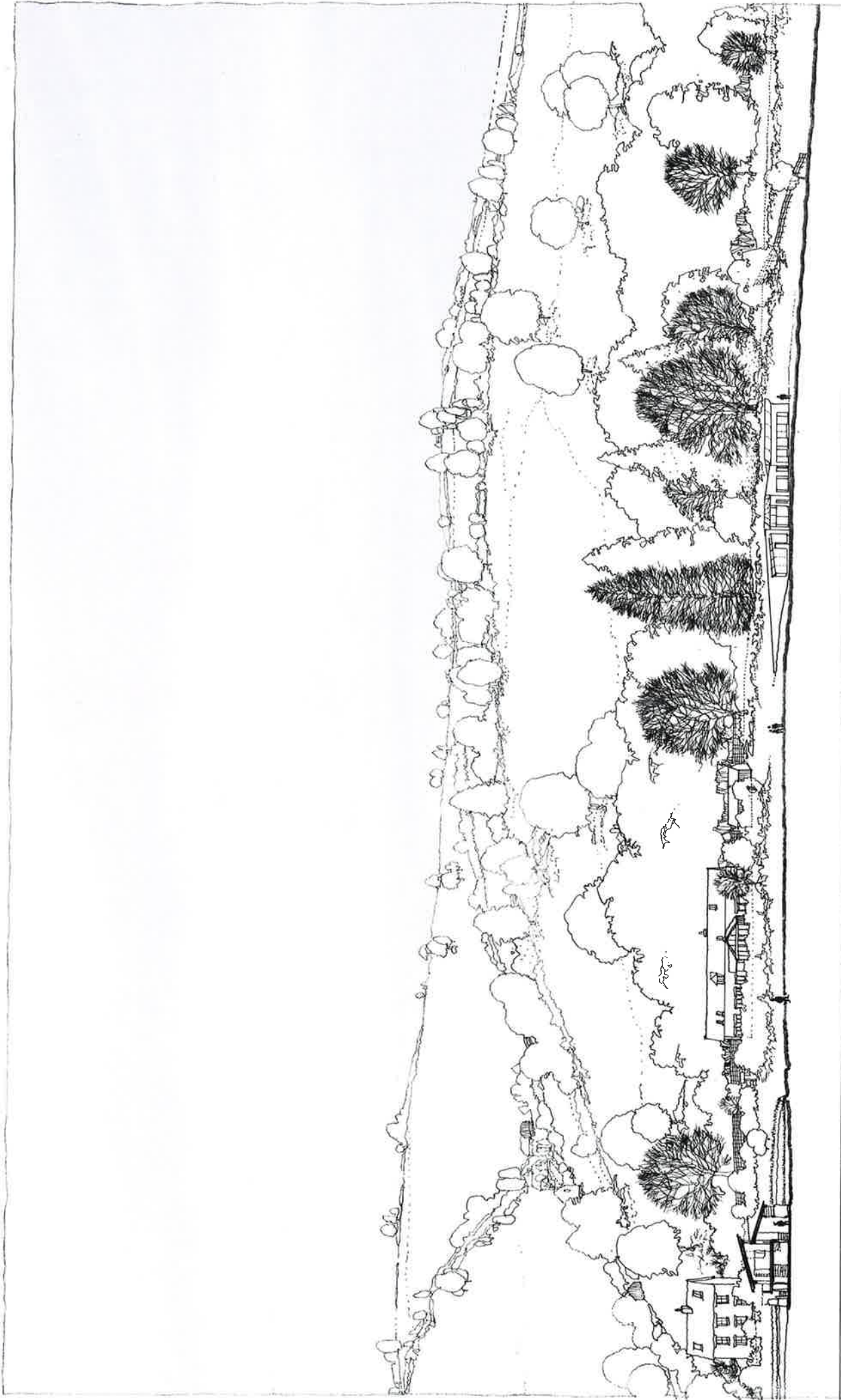
B

Materials Key

- 1 circular rooflights
- 2 smooth cotswold stone weathered copings
- 3 feature corten steel eaves profile
- 4 corten steel stone walling
- 5 perforated / weathered corten steel diamond rain screens
- 6 fixed floor to ceiling curved silicone joined double glazed units
- 7 composite aluminium / timber double glazed windows / door with lead grey frames
- 8 glazing in entrance porch
- 9 fully glazed entrance door in corten steel frame



c Rooflights + notes amended. 28.06.19 ELB
 b Amendments made to notes and elevations. 26.03.19 ELB
 a Minor amendments made to elevation and notes. 13.03.19 ELB



c Rooflights amended 28.06.19 ELB
 b Amendments made 26.03.19 ELB
 a Sky indicated 13.03.19 ELB

LUXTON ARCHITECTS
 Riverside Park, Stroud, Gloucestershire GL8 3RN
 Office Tel: 01452 812654 mob: 0777 1932467

Proposed Long Section Through Site Looking West At East Elevation
 Scale 1:250 @ A1 / 1:500 @ A3

Job No: 1165
 Dwg No: A - P - 200 - 05c

JOY FAMILY ANNEXE, CHURNSIDE
 ESTATE, COWLEY, GLOUCESTERSHIRE
 FEBRUARY 2019

08/01/2019

52



08/01/2019

53

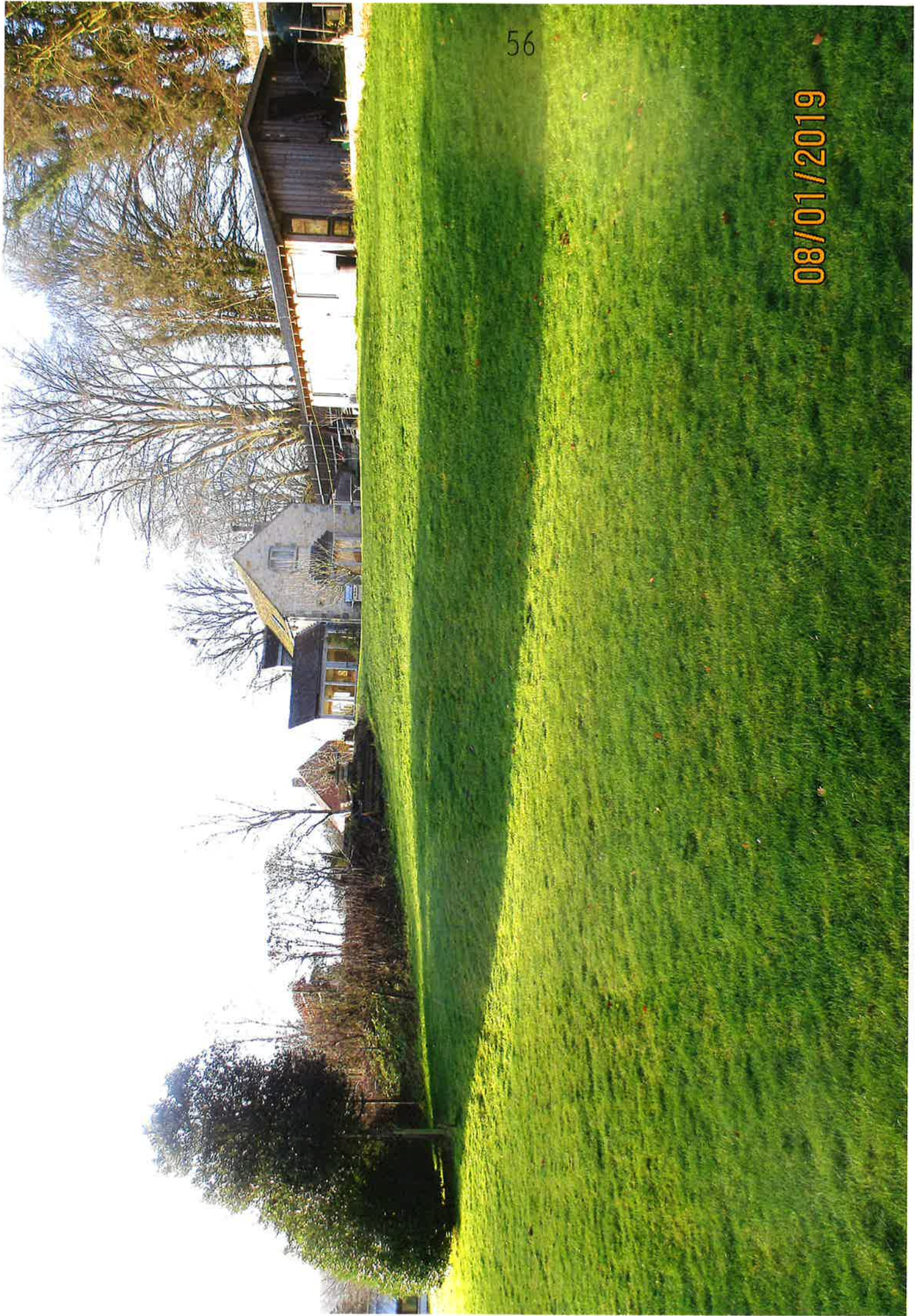






55

08/01/2019



08/01/2019

08/01/2019

57



Planning history pack to support

Annexe at Churnside Estate

LPA ref: 19/01317/FUL

Following an objection from the Landscape Officer and subsequent meeting this pack is intended to set out evidence of historic uses on the site.

The concern from the Landscape Officer is primarily that the site allegedly does not fall within a defined residential curtilage and therefore cannot be supported. We are not aware of a specific policy requiring this, and therefore assume this is primarily concern over character.

The landscape officer mentions in the objection letter that without evidence before her she is of the opinion that this is agricultural land and that the annexe is therefore not supported.

This pack includes compelling evidence the site is demonstrably not agricultural land:

- From late 1800s site in use as saw mill,
- From 1960s site in use as an adventure camp
- Permission was then granted for residential dwellings in 2001,
- Since 2007 the site is used as estate land for three family-owned dwellings, and they now desire a shared annexe space.

The planning statement sets out that we consider that the planning unit is the correct consideration rather than curtilage, and this evidence pack further supports these assertions. But setting aside legalistic analysis it strikes me that this is primarily an issue of **character**.

Our view is that the introduction of a part-subterranean annexe is acceptable in principle within the residential planning unit.

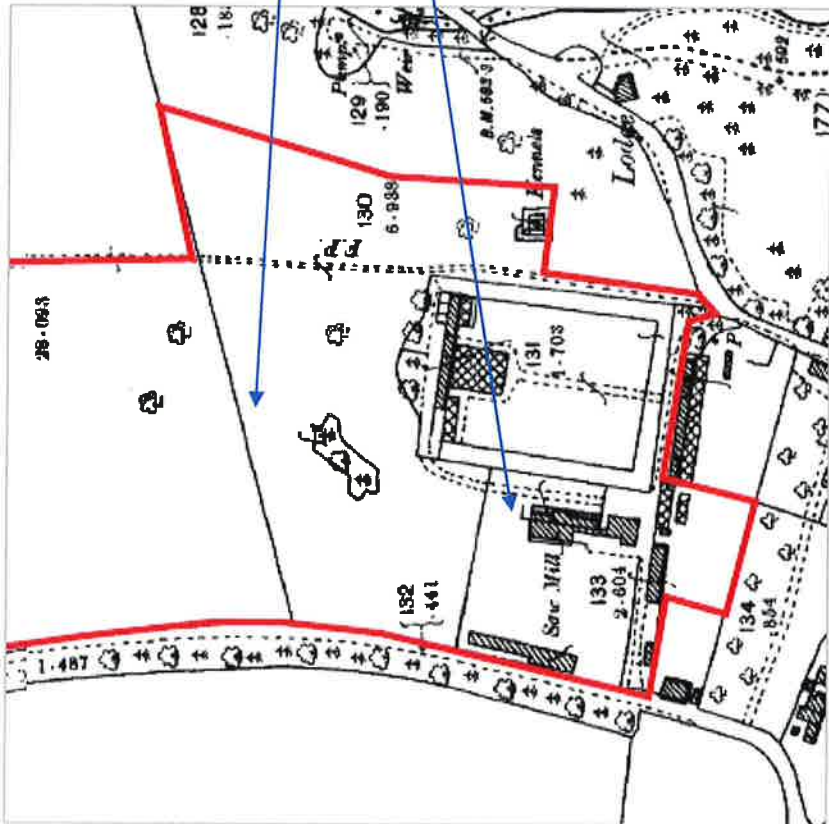
1902 OS Map

Red line denotes current ownership.

Site in use as saw mill, greenhouses and a kitchen garden.

Note existing boundary still in place today, where character of site changes.

Significant structures on site.



1923 OS Map

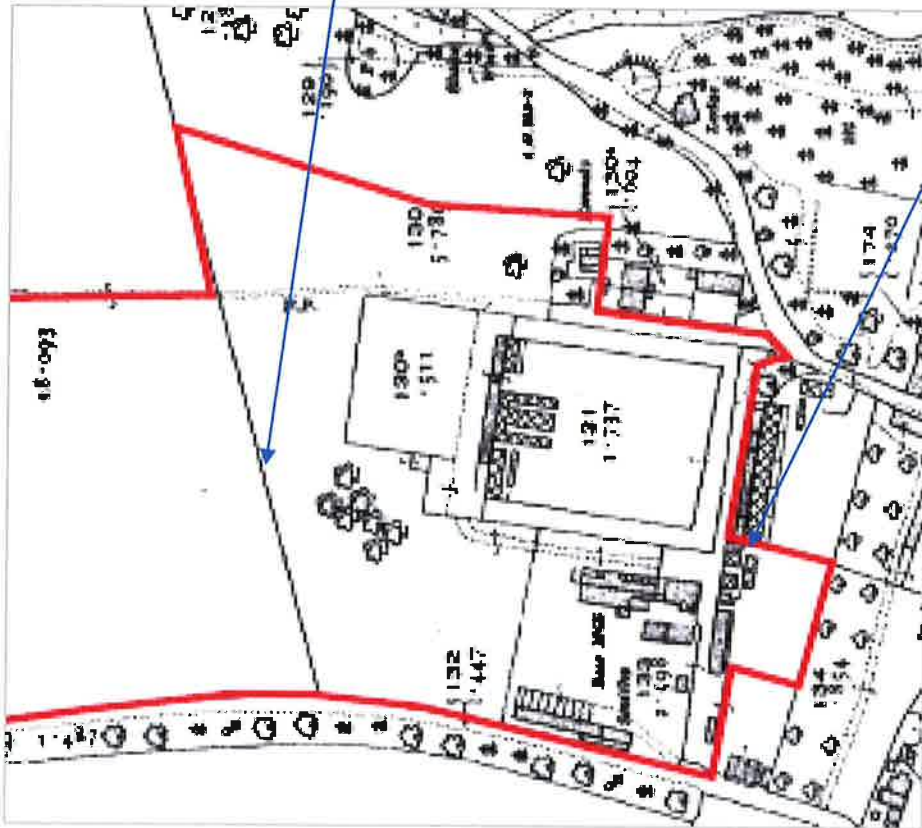
Site still in use as saw mill.

Significant structures on site, with footprint of circa 2,000sqm. By way of comparison, the footprint of current buildings on site is circa 1,100 sq m (45% less than in 1923).

Note existing boundary still in place today, where character of site changes.

Red line denotes land in current ownership.

Undated photo showing extent of buildings on site, including 2 and 3 storey buildings.



1945 aerial photo

Note existing boundary still in place today, where character of site changes.

Structures still on site

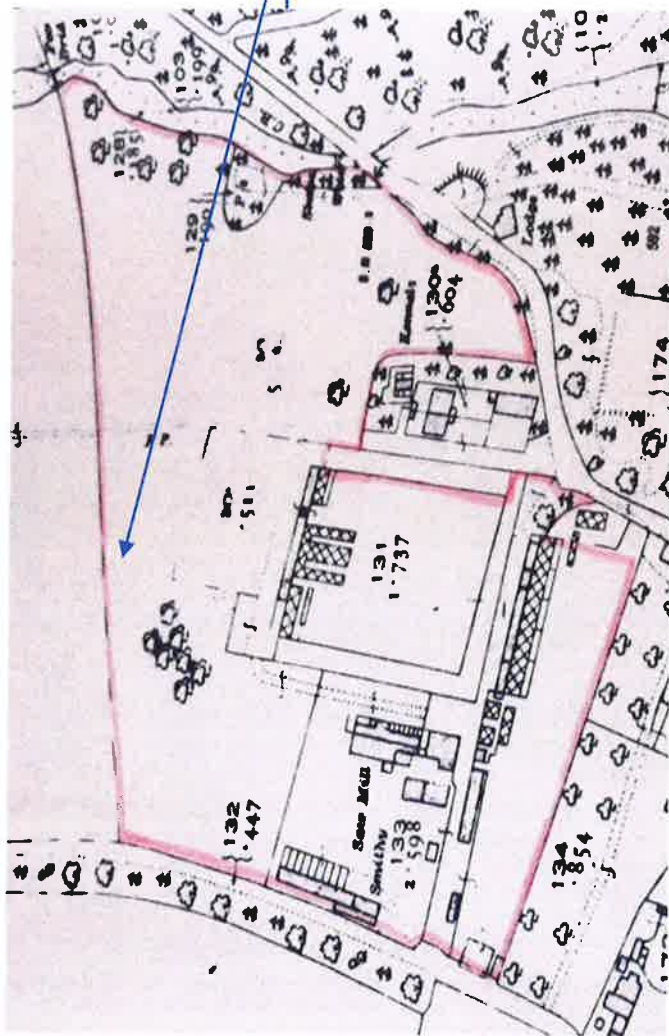
Red line denotes land in current ownership.



1962 Change of use to an adventure camp

Red line includes land that now has The Malt House, The Walled Garden and Hunters Hill on.

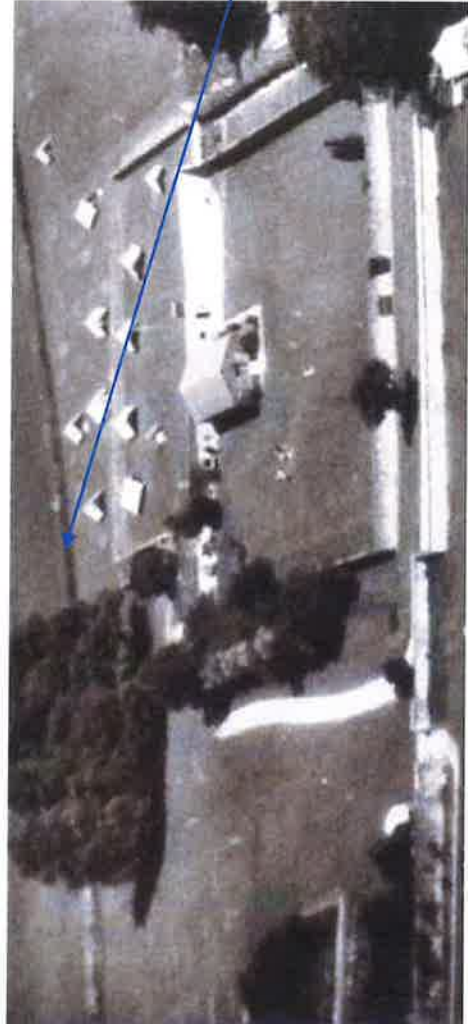
Note existing boundary still in place today, where character of site changes.



Undated photo

Showing camping on land outside confines of the Walled Garden.

Note existing boundary still in place today, where character of site changes.





31. Chumside Camp Football 18.9.74 | David Aldren



30. Chumside Camp Commando Course 18.9.74 | David Aldren

1962 to 2001 - Continued use as an adventure camp

These photos are from the site of the proposed annexe, and the mature trees to the south of the proposed annexe.

Note that the use falls outside of the confines of The Walled Garden and camp buildings.

Note boundary fencing in photo below between site and wider agricultural land.



19. Chumside Camp Tent 5.4.5.1975 | David Aldren

County Property Services

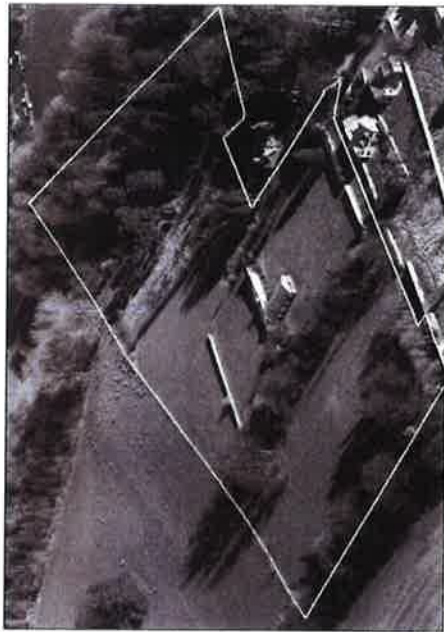
Estates Services, Shire Hall, Westgate Street, Gloucester, GL1 2TG
Telephone 01452-425750 Fax 01452-427129

Ref: 94/N/002/7526/CIB

For Sale
by Informal Tender

On behalf of Gloucestershire County Council

CHURNSIDE CAMP, COWLEY, NR. CHELTENHAM, GLOS.



the white line is given to show the approximate extent of the site and does not reflect the physical boundaries on the ground

Site area approximately 10.7 acres (4.3 hectares)

Leisure and residential development opportunity, subject to planning permission being obtained
Freehold interest for sale

Offers invited based on £150,000

Informal Tender Closing Date Wednesday 21st February 2001 at 2 p.m.

01452 425750



19th January 2001

2001 – Sales of Churnside Camp

Site was sold in 2001.

Aerial photo of site from 1999

Note boundary and change in character.



PLAINVIEW
Planning, Strategy, Design.

2001 – 2008

Various permissions for the 3 homes now on site.

Change of use of school camp and adventure centre, store and premises to form a residential dwelling
Ref. No: 01/02741/FUL | Status: Application Permitted

Conversion of the former Forge to a dwelling
Ref. No: 02/00361/FUL | Status: Application Permitted

The erection of a new dwelling with ancillary studio accommodation (on the site of a former studio building)
Ref. No: 02/00399/FUL | Status: Application Permitted

Conversion to dwelling (revised scheme)
Ref. No: 04/01639/FUL | Status: Application Permitted

The development of a replacement dwelling and garage on the site of the former Churnside Camp
Ref. No: 05/01054/FUL | Status: Application Permitted

Replacement dwelling and garage (revision to previously approved scheme)
Ref. No: 08/00058/FUL | Status: Application Permitted



2018 image of the three properties

Note existing boundary and change of character.